

# 1198-1210 YONGE STREET REDEVELOPMENT

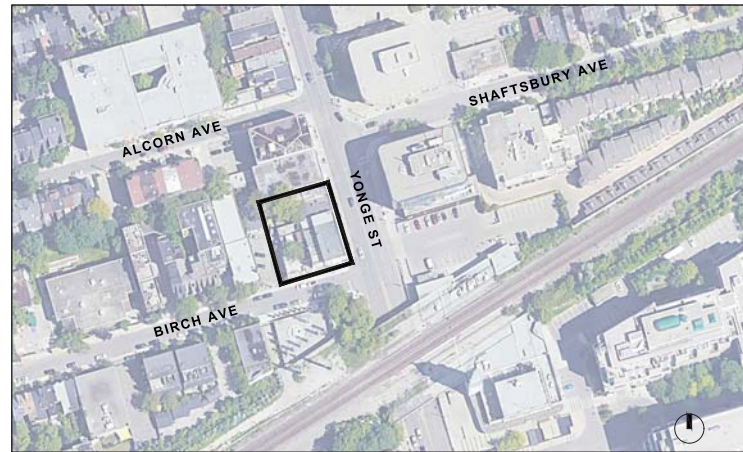
TORONTO, ONTARIO

## ISSUED FOR REZONING

ISSUED NOV 9, 2021

### GENERAL NOTES

1. CONSTRUCTION SHALL CONFORM WITH ALL CURRENT GOVERNING CODES AND ALL APPLICABLE ORDINANCES INCLUDING REGULATIONS, SPECIFICATIONS, AND DRAWINGS.
2. SAFETY STANDARDS: IT IS THE INTENT OF THESE DOCUMENTS TO INCORPORATE THE SAFETY STANDARDS OF LOCAL AND NATIONAL DIVISIONS OF INDUSTRIAL SAFETY, OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS. SUCH STANDARDS SHALL BE COMPLETED WHETHER OR NOT SPECIFICALLY DETAILED. THE CONTRACTOR IS SOLELY RESPONSIBLE OF THE CONTRACTOR FOR SAFETY AND SAFETY STANDARDS DURING CONSTRUCTION.
3. ALL PROPERTY LINES AND LOT LINES SHALL BE VERIFIED PRIOR TO COMMENCING WORK.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND IDENTIFYING UNDERGROUND UTILITIES, PIPES, AND STRUCTURES. THE CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR COST INCURRED DUE TO DAMAGE AND REPLACEMENT OF SAID UTILITIES.
5. CONTRACTOR SHALL NOT WILLFULLY PROCEED WITH CONSTRUCTION AND/OR GRADE DIFFERENCES WHEN IT IS OBVIOUS THAT OBSTRUCTIONS EXIST THAT MAY NOT HAVE BEEN KNOWN DURING DESIGN. SUCH CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
6. THE LOCATIONS OF FEATURES TO BE CONSTRUCTED NOT SPECIFICALLY DIMENSIONED MAY BE DETERMINED BY SCALE. VERIFY SUCH CONDITIONS WITH OWNER'S REPRESENTATIVE.
7. ALL CURVE-TO-CURVE TANGENT LINES SHALL BE NEAT, TRIM, SMOOTH, AND UNIFORM.
8. TOWN REPRESENTATIVE SHALL BE NOTIFIED AFTER THE SITE HAS BEEN STAKED OUT, PRIOR TO THE CONTINUATION OF WORK.
9. NO CHANGE IN CONTRACT PRICE SHALL BE ALLOWED FOR ACTUAL OR CLAIMED DISCREPANCIES BETWEEN EXISTING GRADING AND THAT SHOWN ON PLAN UNLESS SUCH DISCREPANCIES ARE BROUGHT TO THE IMMEDIATE ATTENTION OF THE OWNER IN WRITING PRIOR TO THE CONTRACTOR STARTING PROJECT.
10. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER DRAWING SCALE.
11. CONTRACTOR SHALL BE RESPONSIBLE TO PAY FOR AND OBTAIN ALL NECESSARY BUILDING PERMITS AS MAY BE REQUIRED BY LOCAL AGENCIES. ADDITIONALLY, EACH CONTRACTOR SHALL PROVIDE ALL DRAWINGS, SCHEDULES, AND SPECIFICATIONS AS MAY BE REQUIRED FOR BUILDING PERMITS.
12. ALL DIMENSIONS SHALL BE VERIFIED AGAINST EXISTING CONDITIONS AND ALL DISCREPANCIES REPORTED TO THE OWNER.
13. THE CONTRACTOR SHALL RECTIFY ALL DISTURBED AREAS TO ORIGINAL CONDITION OR BETTER AND TO THE SATISFACTION OF THE OWNER.
14. EXISTING TREES AND OTHER EXISTING SITE FEATURES SHALL BE PROTECTED AGAINST DAMAGE BY THE CONTRACTOR FOR THE DURATION OF CONSTRUCTION. THE CONTRACTOR SHALL ASSUME ALL LIABILITY FOR DAMAGE OR RESTORATION TO SAME.
15. ALL TEMPORARY CONSTRUCTION SAFETY FENCING AND TREE PROTECTION FENCING SHALL BE MAINTAINED BY THE CONTRACTOR THROUGHOUT THE DURATION OF CONSTRUCTION.
16. THE PLANNING PARTNERSHIP WILL RETAIN PROPRIETARY OWNERSHIP AND COPYRIGHT OF THE LANDSCAPE CONSTRUCTION DRAWINGS.



### PROJECT TEAM

**CLIENT**  
WOODCLIFFE LANDMARK PROPERTIES  
10 PRINCE ST  
TORONTO, ON  
M4W 1Z4

**LANDSCAPE ARCHITECT**  
THE PLANNING PARTNERSHIP  
1225 BAY ST.  
UNIT 500  
TORONTO, ON  
M5R 2K6

**ARCHITECT**  
K2MB ARCHITECTS  
351 KING ST. E, SUITE 1200  
TORONTO, ON  
M5A 0L6

### SHEET INDEX

TITLE	SHEET NO.
COVER SHEET	LL000
INDEX	LL001
TREE PRESERVATION PLAN	LT100
LANDSCAPE PLAN	LT100
SOILS PLAN	LP200
HARDSCAPE DETAILS	LD100
SOFTSCAPE DETAILS	LD000

TPP PROJECT NO. 1814

**The Planning  
Partnership**

Checklist - Toronto Green Standards Version 3.0

**Mid to High Rise Residential and all New Non-Residential Development**

Section	Development Feature	Tier 1 Performance Measure (See full standards and specifications for details and definitions)	Documentation for site plan approval (Sections marked with an asterisk are required for rezoning applications)	Plans and Drawings
AG 2.1	Short-term Bicycle Parking Location	Short-term bicycle parking in accordance with Zoning Bylaw 549-2013	<input checked="" type="checkbox"/> Notations indicate location and number of short-term spaces in each bicycle parking area	Plan # LL100
AG 2.2	Change Facilities	Change facilities in accordance with Zoning Bylaw 549-2013	<input type="checkbox"/> Notations indicate location and number of shower and change facilities	Plan #
AG 3.1	Connectivity	Pedestrian walkways	<input type="checkbox"/> Notations on Plans and Drawings	Plan #
AG 3.2	Sidewalk Space	Minimum 2.1 meter pedestrian clearway	<input checked="" type="checkbox"/> Notations on Plans and Drawings	Plan # LL100
AG 3.3	Weather Protection	Covered outdoor waiting areas	<input type="checkbox"/> Notations on Plans and Drawings	Plan #
AT5 3.4	Recreation Lighting	Recreation-area lighting	<input type="checkbox"/> Notations on Plans and Drawings	Plan #
AG 4.1	UMI Non-roof Hardscape	Treat 50% of non-roof hardscape to reduce the urban heat island (UHI) required for Tier 2; OR 75% of the required parking spaces under cover (non-residential only)	<input type="checkbox"/> UHI V.0.0 statistics template. <input type="checkbox"/> Materials list includes SRI of high albedo paving. <input type="checkbox"/> Notations indicate location of treated hardscape	Plan #

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Checklist - Toronto Green Standards Version 3.0

**Mid to High Rise Residential and all New Non-Residential Development**

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WG 2.1	Stormwater Stormwater & Reuse	Retain 5 mm depth of runoff on-site (10 mm required for Tier 2)	<input type="checkbox"/> Stormwater Report <input type="checkbox"/> Plans (Landscape, Grading, Roof and Green Roof Documentation) <input type="checkbox"/> Stormwater Report	Plan #
WG 3.1	Total Suspended Solids (TSS)	Remove 80% of total suspended solids from all runoff leaving the site	<input type="checkbox"/> Stormwater Report	Plan #
WG 3.2	E. Coli Reduction	Control E. Coli directly entering Lake Ontario and waterfront areas	<input type="checkbox"/> Stormwater Report	Plan #
WG 4.1	Drought-Tolerant Landscapes	Drought-tolerant plants used for 50% of the landscaped area	<input checked="" type="checkbox"/> Plant list identifies drought-tolerant species (if applicable) <input checked="" type="checkbox"/> Notation indicates potable or non-potable irrigation system on Landscape Plan	Plan # LL100

**Tier 1: Ecology**

Section	Development Feature	Tier 1 Performance Measure (See full standards and specifications for details and definitions)	Documentation for site plan approval (Sections marked with an asterisk are required for rezoning applications)	Plans and Drawings
EC 1.1	Tree Planting Areas and Soil Volume	Total volume of soil for tree planting areas= 40% of the site area divided by 66 m <sup>2</sup> x 30 m. Each tree planting area has 30m <sup>2</sup> of soil.	<input checked="" type="checkbox"/> UHI V.0.0 statistics template <input checked="" type="checkbox"/> Notations indicate soil volume, soil depth and area, species and quantity for each planting area	Plan # LL100
EC 1.2	Trees Along Street Frontages	Trees planted along street frontages with access to 30 m <sup>2</sup> of soil/tree	<input checked="" type="checkbox"/> Notations indicate soil volume, soil depth and area, species and quantity for each planting area <input checked="" type="checkbox"/> Planting details	Plan # LL100, LD200

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Checklist - Toronto Green Standards Version 3.0

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11-0962 2018-05 Page 3 of 8



Keyplan NTS

**BIRCH & YONGE**  
1133 YONGE STREET, SUITE 601, M4T 2Y7

Client  
**WOODCLIFFE LANDMARK PROPERTIES**  
10 Price St, Toronto, ON, M4W 1Z4

Issue / Revisions

No.	Description	Date
1	Issued for Reviewing	2021-11-09
2		
3		
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Statistics Template - Toronto Green Standard Version 3.0

**Mid to High Rise Residential and all New Non-Residential Development**

The Toronto Green Standard Version 3.0 Statistics Template is submitted with Site Plan Control Applications and stand alone Zoning Bylaw Amendment applications. Complete the table and copy it directly onto the Site Plan submitted as part of the application.  
For Zoning Bylaw Amendment applications, complete General Project Description and Section 1.  
For Site Plan Control applications, complete General Project Description, Section 1 and Section 2.  
For further information, please visit [www.toronto.ca/greendevlopment](http://www.toronto.ca/greendevlopment)

General Project Description	Proposed
Total Gross Floor Area	14235 m <sup>2</sup>
Breakdown of project components (m <sup>2</sup> )	
Residential	14034 m <sup>2</sup>
Retail	201 m <sup>2</sup>
Commercial	
Industrial	
Institutional/Other	
Total number of residential units	68

**Section 1: For Stand Alone Zoning Bylaw Amendment Applications and Site Plan Control Applications**

Automobile Infrastructure	Required	Proposed	Proposed %
Number of Parking Spaces			
Number of parking spaces dedicated for priority LEV parking			
Number of parking spaces with EVSE			

Cycling Infrastructure	Required	Proposed	Proposed %
Number of long-term bicycle parking spaces (residential)			
Number of long-term bicycle parking spaces (all other uses)			
Number of long-term bicycle parking (all uses) located on:			
a) First storey of building			
b) Second storey of building			
c) First level below-ground			
d) Second level below-ground			
e) Other levels below-ground			

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Statistics Template - Toronto Green Standard Version 3.0

**Mid to High Rise Residential and all New Non-Residential Development**

Cycling Infrastructure	Required	Proposed	Proposed %
Number of short-term bicycle parking spaces (residential)			
Number of short-term bicycle parking spaces (all other uses)	5	5	100
Number of shower and change facilities (non-residential)			
Number of female shower and change facilities (non-residential)			

Tree Planting & Soil Volume	Required	Proposed	Proposed %
Total Soil Volume (80% of the site area x 66 m <sup>2</sup> x 30 m <sup>2</sup> )	194	43	22

**Section 2: For Site Plan Control Applications**

Cycling Infrastructure	Required	Proposed	Proposed %
Number of short-term bicycle parking spaces (all uses) at-grade or on first level below-grade		9	

UMI Non-roof Hardscape	Required	Proposed	Proposed %
Total non-roof hardscape area (m <sup>2</sup> )			
Total non-roof hardscape area treated for Urban Heat Island (minimum 50%) (m <sup>2</sup> )			
Area of non-roof hardscape treated with (indicate m <sup>2</sup> ):			
a) high-albedo surface material			
b) sprayed pavement			
c) shade from tree canopy			
d) shade from high-albedo structures			
e) shade from energy generation structures			
Percentage of required car parking spaces under cover (minimum: 10% non-residential only)			

Green & Cool Roofs	Required	Proposed	Proposed %
Available Roof Space (m <sup>2</sup> )			
Available Roof Space provided as Green Roof (m <sup>2</sup> )			
Available Roof Space provided as Cool Roof (m <sup>2</sup> )			
Available Roof Space provided as Solar Panels (m <sup>2</sup> )			

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Statistics Template - Toronto Green Standard Version 3.0

**Mid to High Rise Residential and all New Non-Residential Development**

Water Efficiency	Required	Proposed	Proposed %
Total landscaped site area (m <sup>2</sup> )			
Landscaped site area planted with drought-tolerant plants (minimum 50% (m <sup>2</sup> and %) of applicable)			

Tree Planting Areas & Soil Volume	Required	Proposed	Proposed %
Total site area (m <sup>2</sup> )		1069	
Total Soil Volume (80% of the site area x 66 m <sup>2</sup> x 30 m <sup>2</sup> )	194	43	22
Total number of planting areas (minimum of 30m <sup>2</sup> each)	1		
Total number of trees planted	7	2	30

Native and Planimeter Supportive Species	Required	Proposed	Proposed %
Number of native trees located in surface parking area interior (minimum 1 tree for 5 parking spaces)			
Total number of native plants and % of total plants (min.50%)			

Bird Friendly Glazing	Required	Proposed	Proposed %
Total area of glazing of all elevations within 12m above grade (including glass balconies) (m <sup>2</sup> )			
Total area of treated glazing (minimum 85% of total area of glazing within 12m above grade) (m <sup>2</sup> )			
Percentage of glazing within 12m above grade treated with:			
a) Low reflectance opaque materials			
b) Visual markers			
c) Spacing			

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THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS SIGNED BY THE LANDSCAPE ARCHITECT.

Designed By: TB  
Drawn By: TS  
Checked By: TB

**The Planning Partnership**  
1256 Bay Street, Suite 500  
Toronto, Ontario, Canada M5R 3A9  
1-416-975-1556 1-416-975-1550 info@planningpartnership.ca

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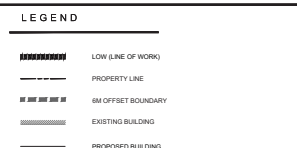
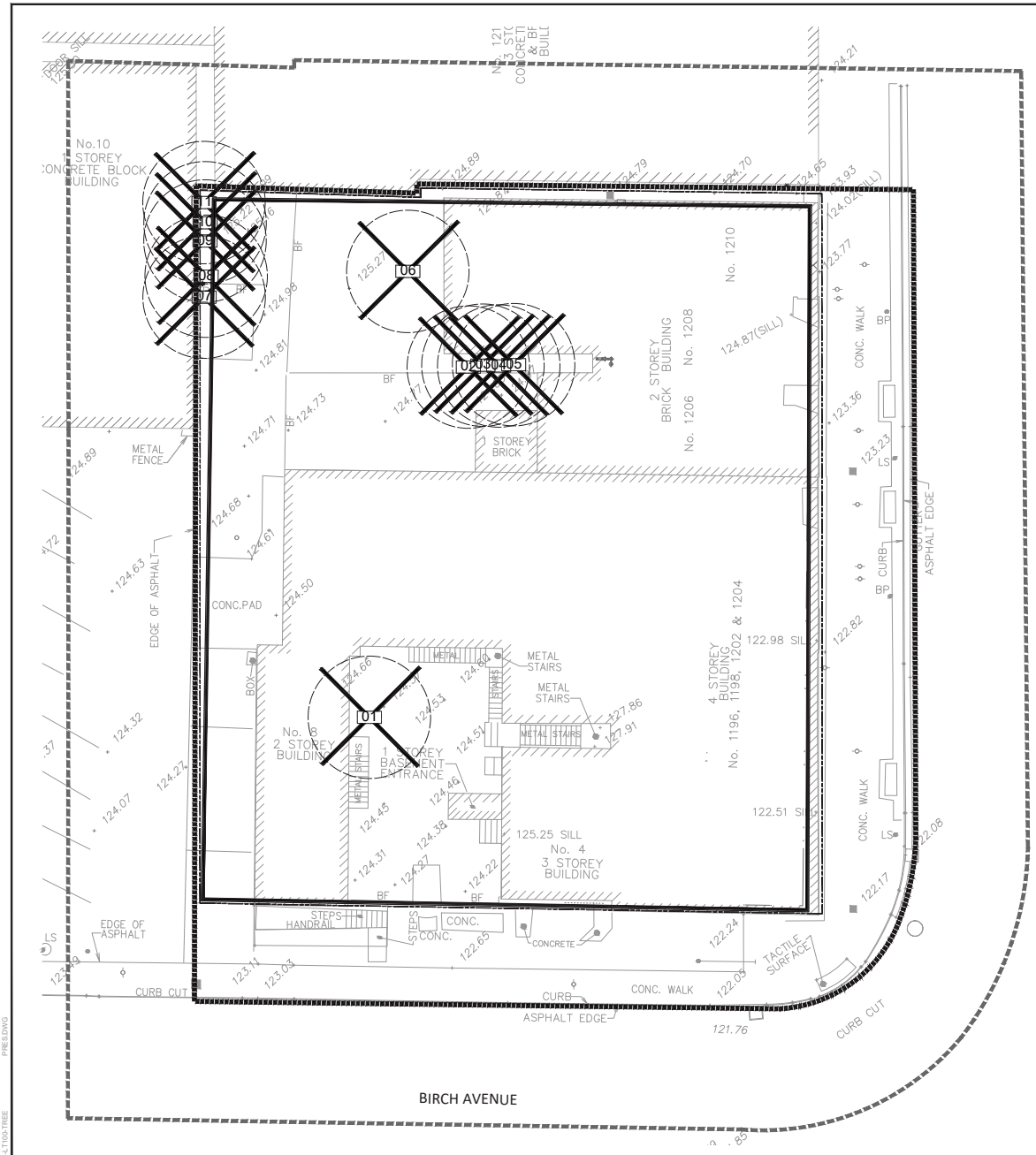
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Scale: NTS

Proj. No.: 2150  
Drawing No.: L001

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PRES.DWG



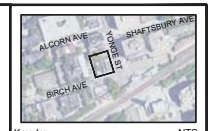
**TREE INVENTORY**

Tree #	Botanical Name	Common Name	Condition	D.B.H.	T.F.Z.	Category	Action
1	<i>Alnus incana</i>	Tree of Heavens	Fair-Good	27.0	1.8	0.0	Remove
2	<i>Alnus incana</i>	Tree of Heavens	Poor-Fair	20.0	1.8	0.0	Remove
3	<i>Alnus incana</i>	Tree of Heavens	Poor-Fair	20.0	1.8	0.0	Remove
4	<i>Alnus incana</i>	Tree of Heavens	Poor-Fair	20.0	1.8	0.0	Remove
5	<i>Alnus incana</i>	Tree of Heavens	Poor-Fair	20.0	1.8	0.0	Remove
6	<i>Acer saccharinum</i>	Silver Maple	Fair	47.0	4.2	1.0	Remove
7	<i>Alnus incana</i>	Tree of Heavens	Fair	19.0	1.8	0.0	Remove
8	<i>Ulmus pumila</i>	Siberian Elm	Fair	33.5	2.4	1.0	Remove
9	<i>Alnus incana</i>	Tree of Heavens	Fair-Good	54.5	3.0	1.0	Remove
10	<i>Alnus incana</i>	Tree of Heavens	Fair	34.0	2.4	1.0	Remove
11	<i>Alnus incana</i>	Tree of Heavens	Fair	8.0	1.2	0.0	Remove

Refer to Arborist Report - September 28th, 2021

**CITY OF TORONTO TREE PROTECTION ZONES**

Tree Diameter (DBH)	Minimum Protection Clearance Required City-owned and Private Trees	Minimum Protection Clearance Required Trees or Areas Protected by the Parks and Natural Heritage Protection By-law
< 10cm	1.3m	Whichever of the two is greater: The drip line or 2.0m
10-20cm	1.6m	The drip line or 3.0m
20-30cm	2.4m	The drip line or 4.0m
31-40cm	3.0m	The drip line or 5.0m
41-50cm	3.6m	The drip line or 6.0m
51-60cm	4.2m	The drip line or 7.0m
61-70cm	4.8m	The drip line or 8.0m
71-80cm	5.4m	The drip line or 9.0m
81-90cm	6.0m	The drip line or 10.0m
91-100cm	6.6m	The drip line or 12.0m
> 100cm	8.0m protection for each 1 cm diameter	8.0m protection for each 1 cm diameter of the drip line



Keyplan NTS  
**Project**  
**BIRCH & YONGE**  
**1133 YONGE STREET, SUITE 601, M4T 2Y7**

Client  
**WOODCLIFFE LANDMARK PROPERTIES**  
 10 Price St, Toronto, ON, M4W 1Z4

**Issue / Revisions**

No.	Description	Date
1	Issued for Rezoning	2021-11-09
2		
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**Seal**

THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS SIGNED BY THE LANDSCAPE ARCHITECT.

Designed By: TB  
 Drawn By: TS  
 Checked By: TB

**The Planning Partnership**  
 1595 Bay Street, Suite 500  
 Toronto, Ontario, Canada M5R 2A9  
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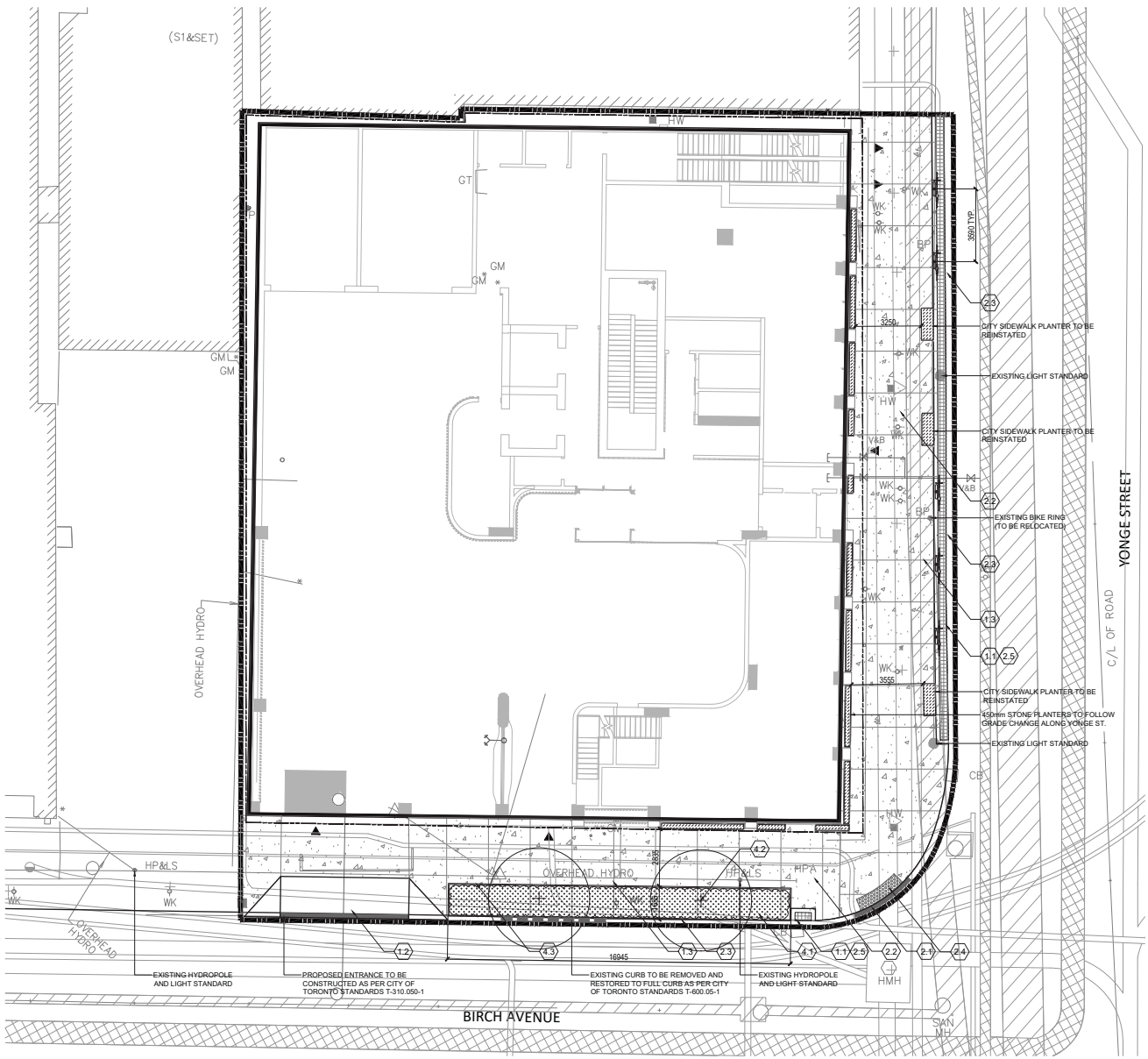
**Drawing Title:**  
**TREE REMOVAL & PRESERVATION PLAN**

Scale: 1:100  
 Proj. No.: 2150  
 Drawing No.: **LT100**

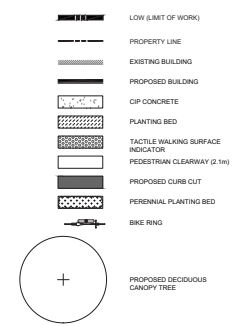


**TREE REMOVALS AND PRESERVATION PLAN**  
 LT100  
 1:100

(S1&SET)



LEGEND



**1.0 HARDSCAPE**

DETAIL/ SHEET	SPEC SECTION
1.1 CONCRETE PAVE BAND	1.LD100
1.2 VEHICLE ENTRANCE IN COMBINED CURB AND SIDEWALK	2.LD100
1.3 CONCRETE SIDEWALK JOINTS	4LD100

**2.0 CURBS, PLANTER & RAILINGS**

DETAIL/ SHEET	SPEC SECTION
2.1 DROPPED CURBS AT INTERSECTIONS	3LD100
2.2 SIDEWALK WITH UNIT PAVEMENT BAND AT CURB	5LD100
2.3 CONCRETE CURB	6LD100
2.4 TWIS AND CURB RAMP DETAIL UNIT PAVERS ON CONC. BASE (NON-VEHICULAR LOCATIONS)	7LD100
2.5	8LD100

**4.0 PLANTING AND LANDSCAPE**

DETAIL/ SHEET	SPEC SECTION
4.1 SHRUB AND HERBACEOUS PLANTING DETAIL	1LD200
4.2 TREE PLANTING DETAIL	2LD200
4.3 WIDE OPEN PLANTING BED WITH IRON FENCE	3LD200



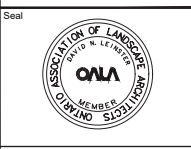
Keyplan NTS

**PROJECT**  
**BIRCH & YONGE**  
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Designed By TB  
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Drawing Title:  
**LANDSCAPE PLAN**

Scale: 1:100  
 Proj. No.: 2150  
 Drawing No.: **LL100**

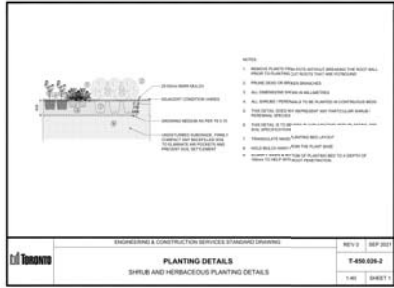
**1 LANDSCAPE PLAN**  
 SCALE 1:100



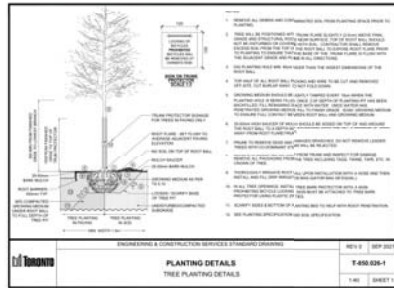
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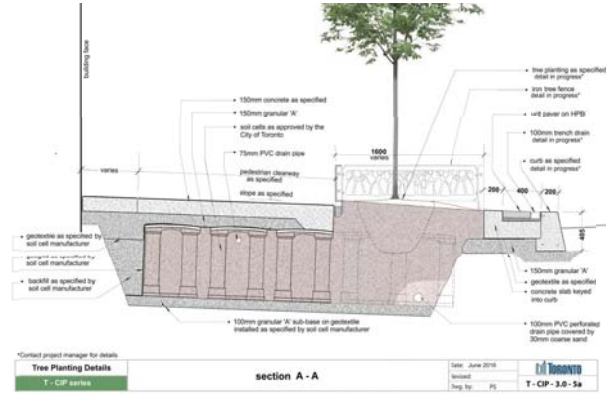




1 SHRUB AND HERBACEOUS PLANTING DETAIL  
SCALE NTS



2 TREE PLANTING DETAIL  
SCALE NTS



3 WIDE OPEN PLANTING BED WITH IRON FENCE  
SCALE NTS



Keyplan NTS

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**Drawing Title:**  
DETAILS - SOFTSCAPE

Scale: 1:XXX  
Proj. No.: 2150  
Drawing No.: LD200